

Storm Damage Repairs (EMER)

Delta State University
Cleveland, MS

12 March 2020

GS# 102-274

Index of Drawings:

- TS Title Sheet, Pressbox Roof Plan, Floor Plans, Elevations, Details
- 1.0 Roof Plans, Details
- 2.0 Details

Code Reference:

- 2015 International Building Code
- 2015 ICC & applicable codes as req'd. by State Law

General Roof Notes (typical all roofs -- see building-specific notes at each building sheet)

- Perform all mechanical and electrical modifications as req'd. to properly flash roof elements. Contractor shall be responsible for employing licensed mech. and elec. subs as req'd. to perform work.
- Within areas of roofs that are to be replace: Install screws w/ grommets in all flange holes of fans or other equipment. Replace any rusted or damaged flashing associated w/rooftop equipment w/prefinished mtl. flash.
- Plumbing vent quantities shown are approximate--Contractor to verify quantities prior to Bid. Provide new 2.5# (min.) lead flashing turned over the top of each vent. See details "13/1", or "2/2" at mtl. roofs.
- All mech. & elec. work to be performed by licensed Mechanical and Electrical Subcontractors, NOT by the Roofer.
- Painting: Paint surfaces noted on Drawings.
- Prior to disconnecting any rooftop communications cabling or devices, Contractor shall request approval of Architect/User in writing, and schedule any interruptions in advance to coordinate with User's schedule and requirements.
- All new copings, gravel guards, fascia, etc. shall receive continuous cleats -- see specifications.
- Verify all exist. roof slopes prior to Bid.
- Dimensions are approximate. Verify all dimensions prior to Bid.

General Demolition Notes

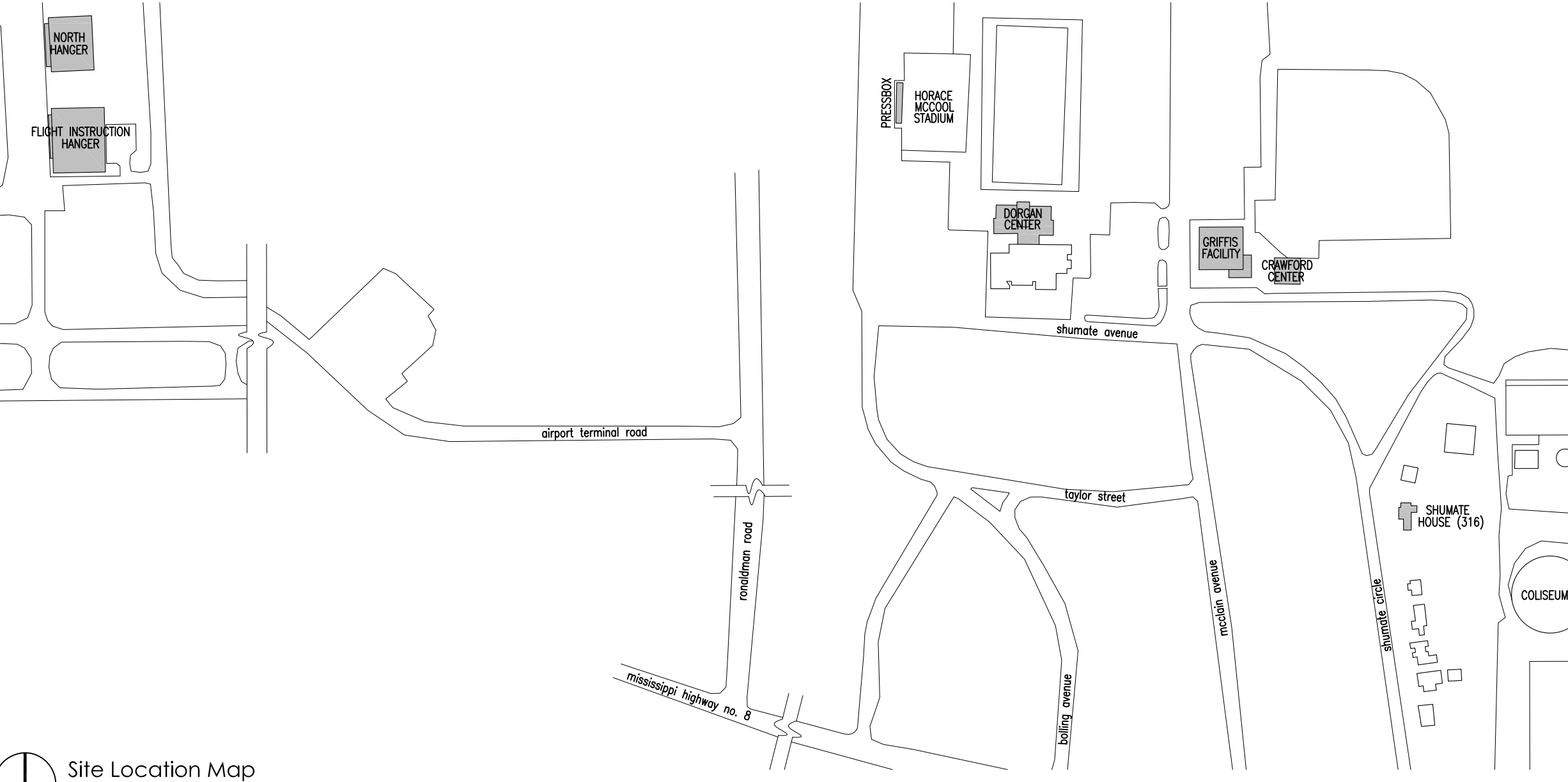
- At Football Pressbox roof, completely remove existing roofing systems, including membrane and insulation board, to existing bare deck, including all flashings, copings, wood blocking, etc. EXCEPTION: Existing metal thru-wall flashings shall remain in place.
- At shingle roofs, remove exist. shingles and underlayments to bare deck.
- Contractor may core existing roof systems prior to Bid to determine systems for removal.

General Site Notes

- All landscape plant materials, including lawns, damaged by construction, including rutting, trampling, scorching, etc., shall be restored to original condition by a Licensed Landscape Contractor, approved by the Architect, utilizing plant material of size & species to match original.

General Electrical Notes

- Contractor shall provide all new work in accordance with the current National Electrical Code.
- Contractor shall only use GRC or seallite conduit on the roof or other outdoor work.
- Contractor shall note in writing any non-functioning units and/or systems prior to beginning any work.
- Disconnect any fans or other energized rooftop equipment as req'd for roofing work, reconnecting & leaving in operable condition.



Abbreviations									
alum.	aluminum	flash.	flashing	o.c.	on center	trtd.	treated		
bit.	bituminous	galv.	galvanized	plywd.	plywood	v.i.f.	verify in field		
blgd.	building	hgt.	height	pld.	pointed	v.l.r.	vent through roof		
block./blkg.	(wood) blocking	horiz.	horizontal	req'd	required	wd.	wood		
conc.	concrete	mas.	masonry	sim.	similar	t.o.w.	top of wall		
c.j.	control joint	mech.	mechanical	specs.	specifications	n.t.s.	not to scale		
cop.	copper	min.	minimum	sq.	square	exist.	existing		
elec.	electrical	no.	number	stl.	steel				

Assumptions (to be included in Base Bid):

(Refer to four underlined paragraph headings below for items to be included in Base Bid Assumptions.) See related specification sections for material & installation specifications. Note: Quantities of Assumptions to be expended MUST be field-verified by Architect prior to covering of work.

Assumption #1: Assume replacement of 200 SQ. FT. of exist. wood 1x8 decking in Base Bid, to include demolition of existing wood deck and installation of new wood deck to match exist.

Assumption #2: Assume replacement of 600 SQ. FT. of exist. plywd. deck (match exist. thickness) in Base Bid, to include demolition of existing deck and installation of new deck to match exist.

ASSUMPTIONS FOR PRODUCTS:

- Purchase products under each assumption as directed by the Professional.
- Amount of each assumption includes:
 - Net cost of product.
 - Delivery & unloading at site.
 - Applicable taxes.
- In addition to amounts of assumptions, include in bid, for inclusion in Contract sum, Contractor's costs for:
 - Handling at site, including uncrating and storage.
 - Protection from elements and damage.
 - Labor, installation, and finishing.
 - Other expenses required to complete installation, including demolition of material to be replaced.
 - Overhead and profit.

SELECTION OF PRODUCTS:

- Contractor shall make appropriate recommendations for consideration of the Professional, based on the original Specifications. Upon notification to Professional of quantities requiring replacement, proceed w/replacement Quantities shall be verified by Professional.

DELIVERY:

- The Contractor is responsible for arranging all delivery and unloading and should promptly inspect products for damage or defects and submit claims for transportation damage.

INSTALLATION:

- Comply with requirements of referenced specification section.

Unit Prices (the unit prices listed below are for information only --Unit Prices are to be filled in on Bid Proposal Form)

Any additional work authorized to be completed by Unit Prices will be added to the Contract by Change Order which has been approved by Owner, Architect and Contractor. Refer to BID PROPOSAL FORM. Costs: Each item of unit price work shall include all costs for materials, labor, handling, delivery, installation, services, coordination, supervision, taxes, overhead and profit. Materials and methods for any additional work under this Section shall comply with appropriate requirements for work indicated in the respective Specification Sections. NOTE: Unused portions of Base Bid Assumptions shall be credited back to the Owner per the bid Unit Prices that follow; quantities of Unit Price work must be field-verified by Architect prior to covering of work.

SCHEDULE OF UNIT PRICES:

- Wood 1 x 8 S4S Roof Deck Replacement:
 - Unit Price #1, \$ _____ per square foot of deck.
Should it be necessary to replace exist. deteriorated wood roof deck beyond that shown on drawings and provided by Assumption #1, such additional decking shall be furnished per this Unit Price #1.
- Plywd. Deck Replacement:
 - Unit Price #2, \$ _____ per square foot of deck, thickness to match exist. Should it be necessary to replace exist. deteriorated plywd. roof deck beyond that shown on drawings and provided by Assumption #2, such additional decking shall be furnished per this Unit Price #2.

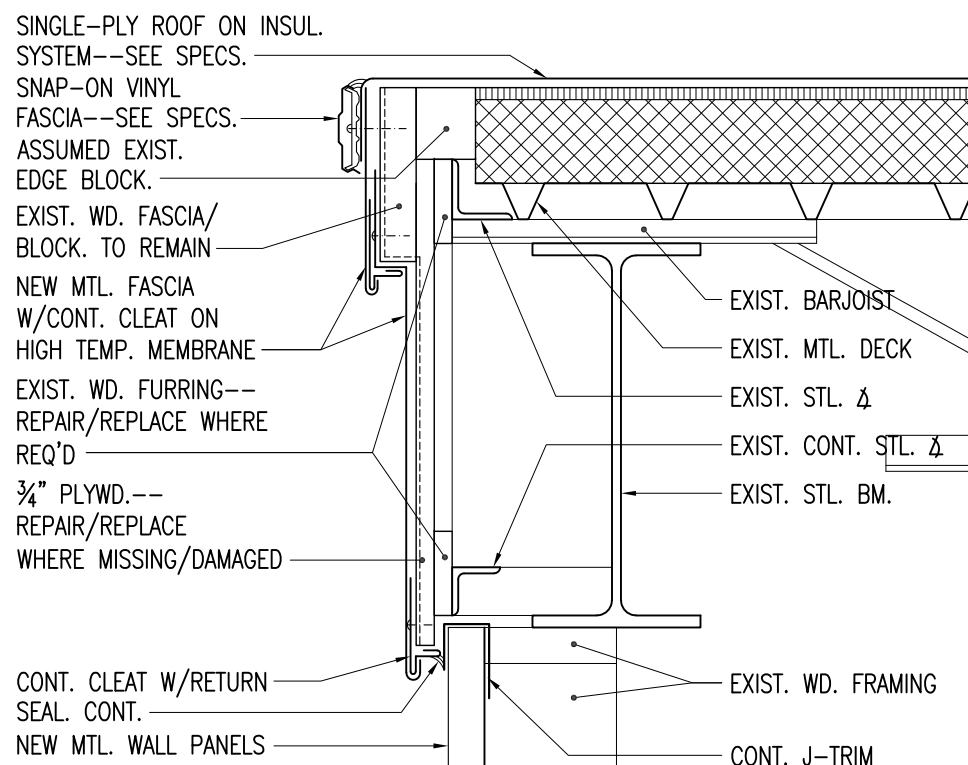


Keyed Notes (Horace McCool Pressbox)

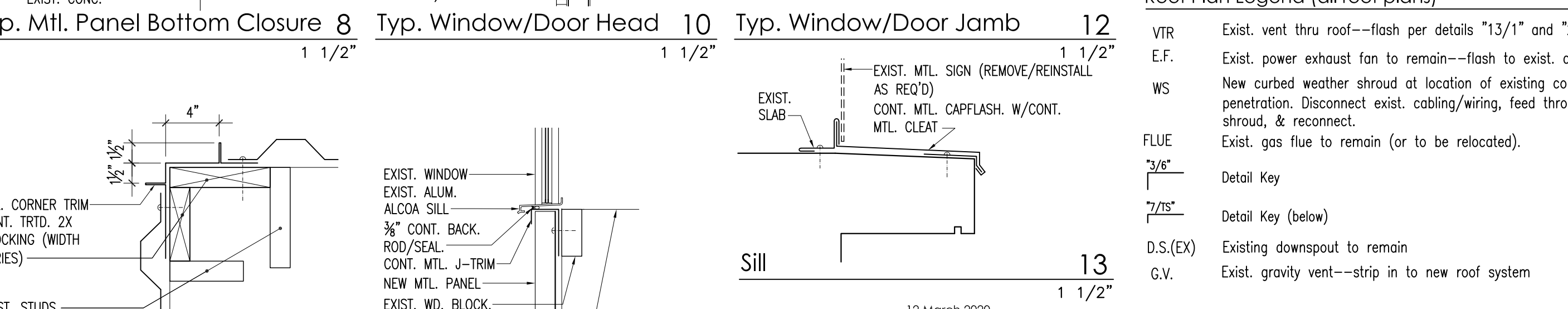
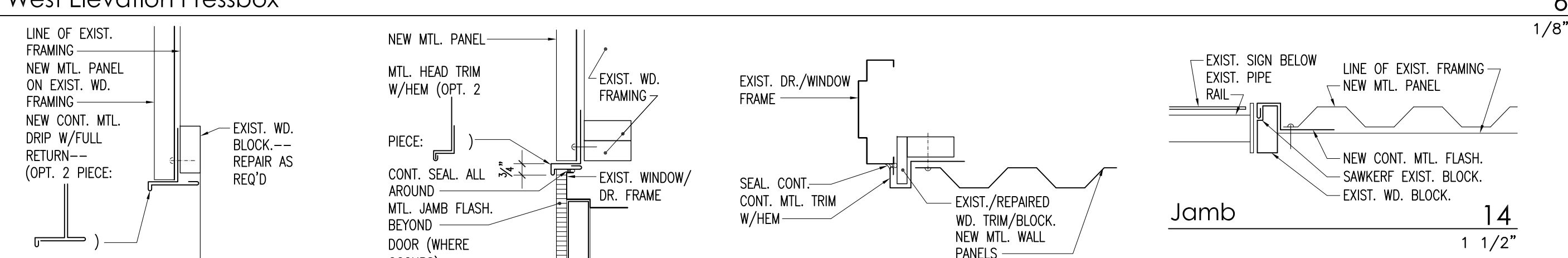
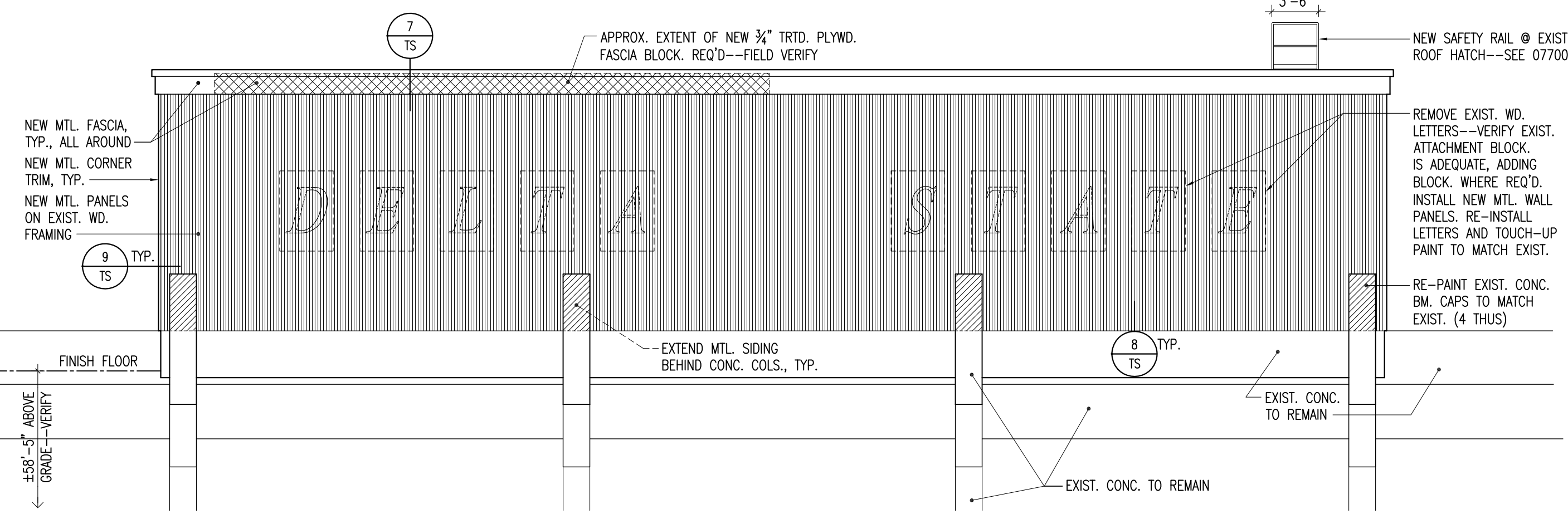
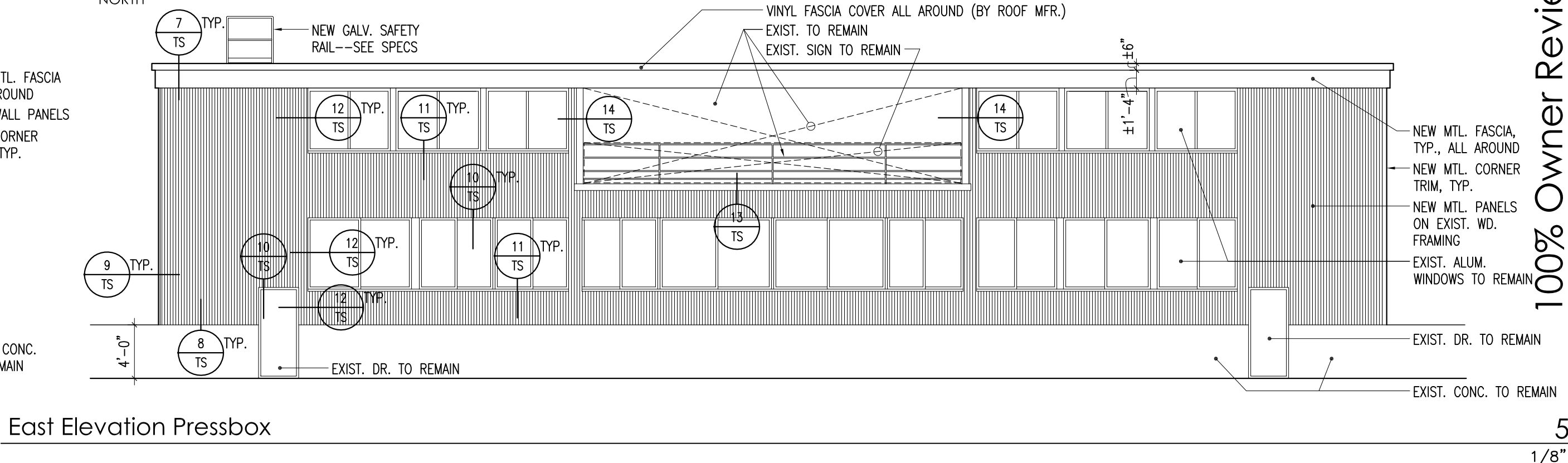
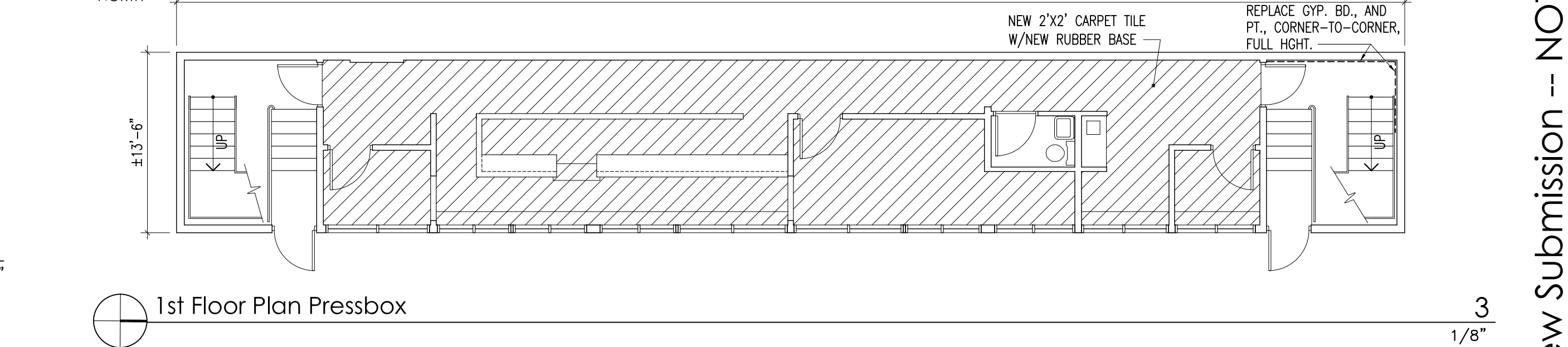
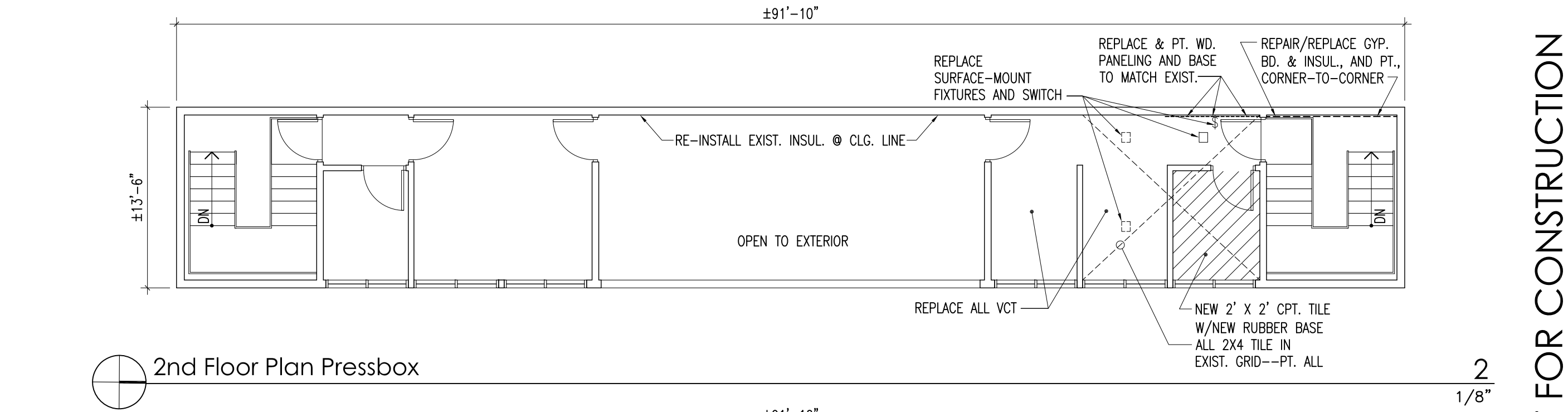
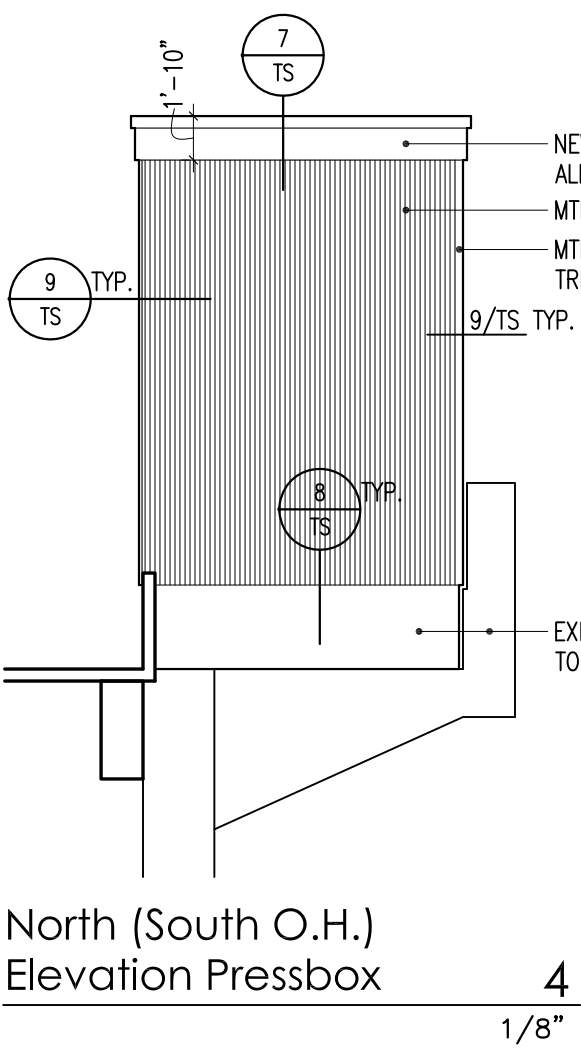
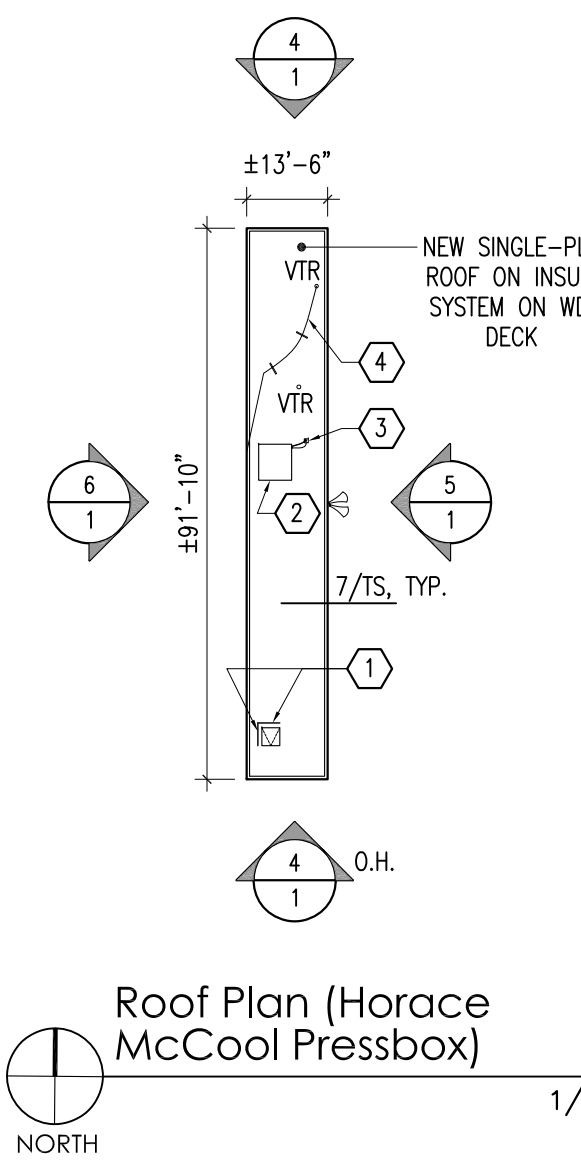
- New safety rail @ exist. roof hatch--see 07700. Flash curb per Duro Last Detail "4060".
- Exist. mech. unit--reflash per Duro Last Detail "4010".
- Pitch pan @ exist. location per Duro Last Detail "4030".
- Set exist. condensate line (or replace, at Contractor's option) on wd. blocks to match exist.--drain into VTR.

General Notes (Horace McCool Pressbox)

- Replace exist. single-ply roof. Match exist. "Duralast" (or equal) cover boards, insulation, edge/fascia, etc. Fully mechanically--fasten to exist. deck to remain.
- Remove/abate exist. ACM corrugated siding and all related metal trim (exist. aluminum window sills to remain). Repair/mfill missing batt insul. to match exist. Install new mtl. siding and related metal trim on exist. wd. stud framing, installing new trtd. wd. block, as req'd in certain locations as req'd to provide solid attachment for new mtl. trim.
Note:
 - All exist. exposed wd. trim (around windows, doors, etc.) is to be wrapped/covered w/new mtl. trim, caulking watertight to exist. substrates. Where wd. is rotted, repair w/new trtd. wd. substrate.
 - All exist. wd. block/substrates (to receive new mtl. fascias, trim, etc.) shall be covered w/high temp membrane specified.
- Replace limited interior finishes noted, including:
 - Carpet tile and related rubber base to extent shown on Plan.
 - 12" x 12" floor tile to extent shown on Plan.
 - Limited wd. paneling, wd. base, shoemould, etc. Where shown on Plan--paint all to match exist.
 - (60) 2' x 2' cgl. tiles (replace exist. damaged or stained tiles) in exist. grid at 1st Floor.
 - 2' x 4' cgl. tiles, in exist. grid, at 2nd Floor, to extent shown on Plan.
 - (3) light fixtures and (1) wall switch @ north end 2nd Floor.
 - Gyp. bd. shall be repaired with 5/8" "Mold Tough" by USG.

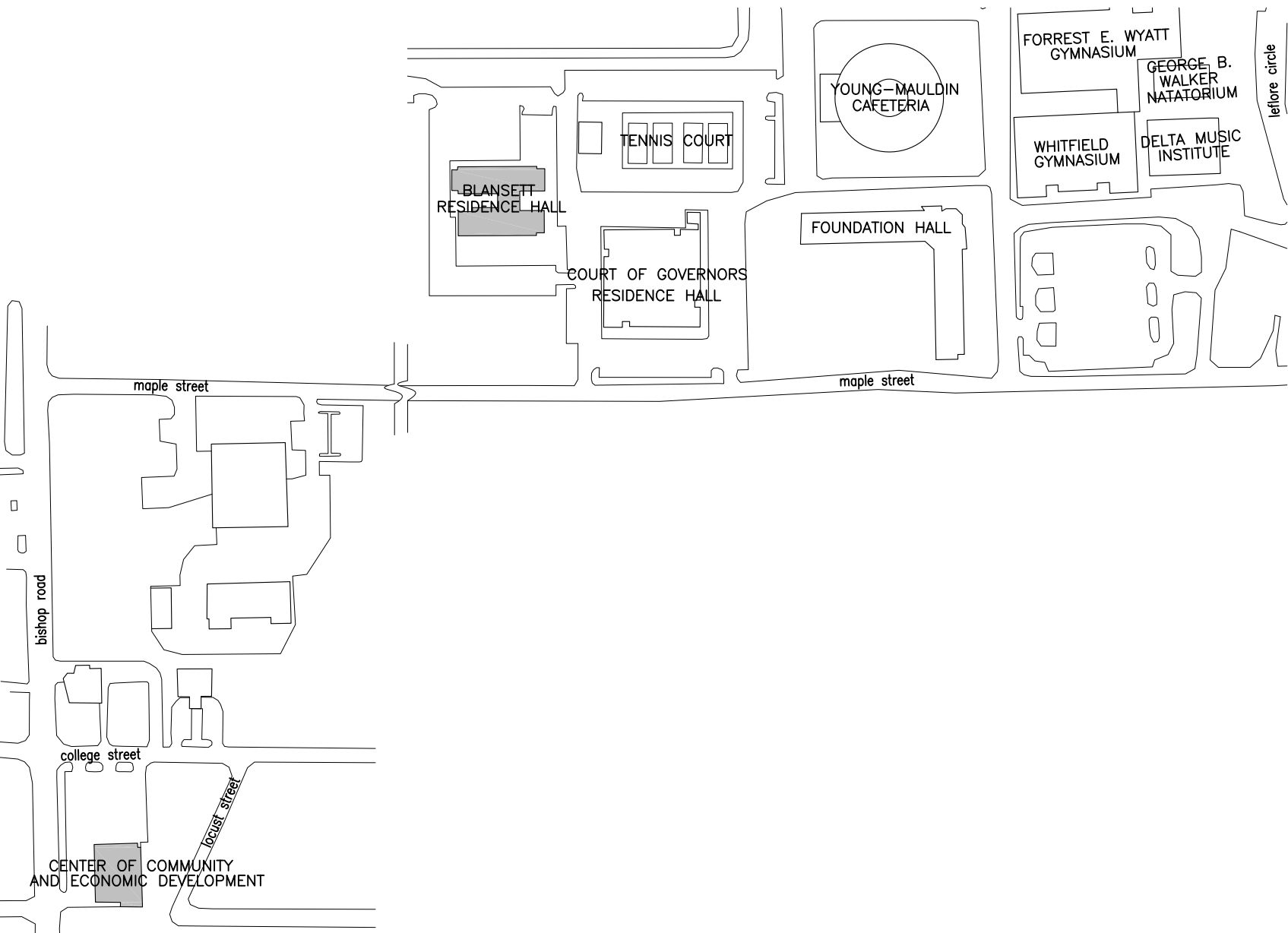


Typ. Fascia Detail



100% Owner Review Submission -- NOT FOR CONSTRUCTION

TS

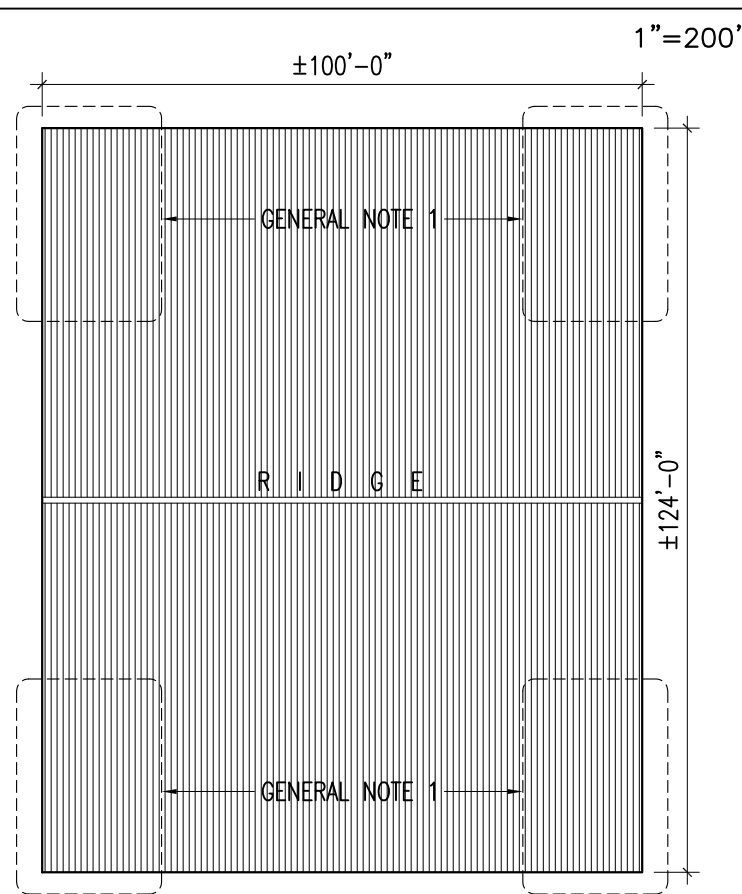


Site Location Map

NORTH

General Notes (North Hanger)

- At all four (4) corners of building, repair storm-damaged metal and repair current leaks, leaving roof corners in watertight condition. Remove exist. mtl. roof panels to access and replace missing or damaged blanket insul. Reinstall exist., or replace w/new mtl. panels, to match exist. Seal all panel laps. Install new eave and rake flash. to match exist.



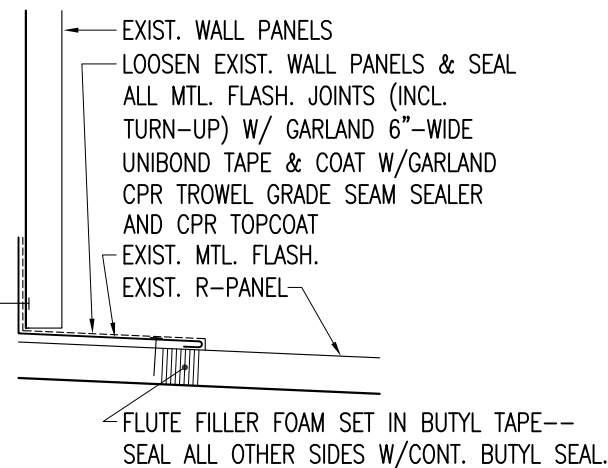
Roof Plan (North Hanger)

General Notes (Fight Instruction Hanger)

- At all four (4) corners of building, repair storm-damaged metal and repair current leaks, leaving roof corners in watertight condition. Remove exist. mtl. roof panels to access and repair damaged blanket insul. Reinstall exist., or replace w/new mtl. panels to match exist. Seal all panel laps. Install new eave & rake flash. to match exist.
- Replace ALL exposed screws, High & Low roofs, including attachment screws, stitch screws, flashing screws, etc., with oversized/grommetted screws.
- Re-flash all VTR's & flues w/new roof jacks--see specs.
- Tap/seal all low roof/rising wall flash. per "2.5/1".
- Garland rep to field--demonstrate installation of seam sealer at mtl. flashing joints (see "2.5/1"), prior to work beginning.

Keyed Notes (Flight Instruction Hanger)

- Set exist. fan caps or vents on new pre-fab. curbs--see specs.
- Replace (2) letters this wall to match exist. size, color, and material.
- Offset exist. flue (below deck) out of flashing--repair flashing w/new mtl. flash. and seal joints per General Note "4".
- Locate/repair exist. leak this area.



Flash. Detail 2.5 1 1/2"

Roof Plan (Flight Instruction Hanger)

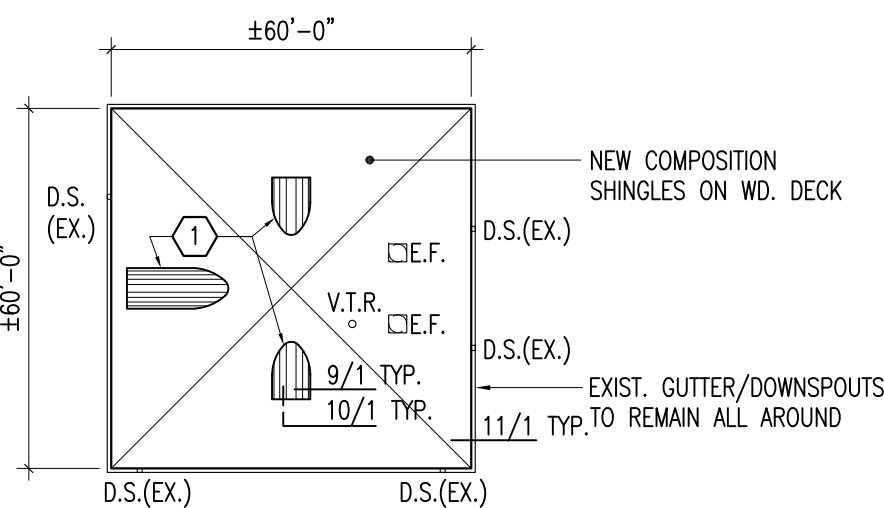
NORTH

General Notes (Crawford Building)

- Exist. gutters, downspouts, and edge mtl. to remain.
- Replace all shingles and underlayments.

Keyed Notes (Crawford Building)

- Exist. mtl. dormers to remain.



Roof Plan (Crawford Building)

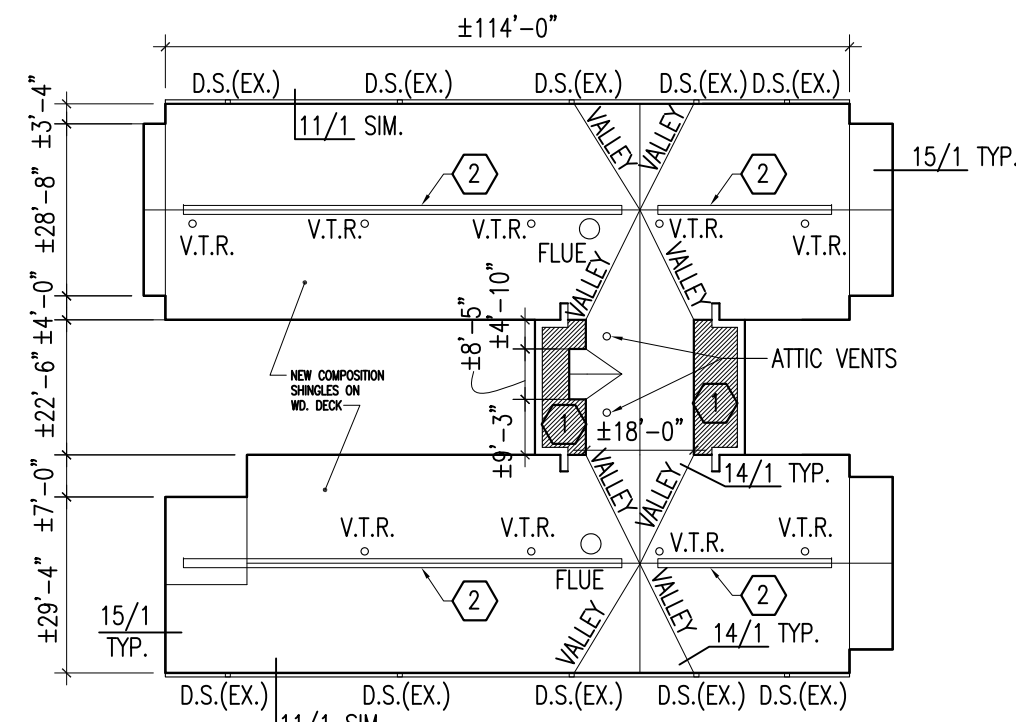
NORTH

General Notes (Blansett Residence Hall)

- Re-roof w/composition shingles and specified underlayments.
- Sheet metal: all exist. gutters, downspouts, eave trim, and rake trim to remain--install new underlays/shingles to exist. flashings. Repair or replace any damaged sheet metal.

Keyed Notes (Blansett Residence Hall)

- Exist. low-slope roof to remain.
- Filtered ridge vent, w/shingle overlay, typ., @ exist. locations. Verify locations prior to bid.



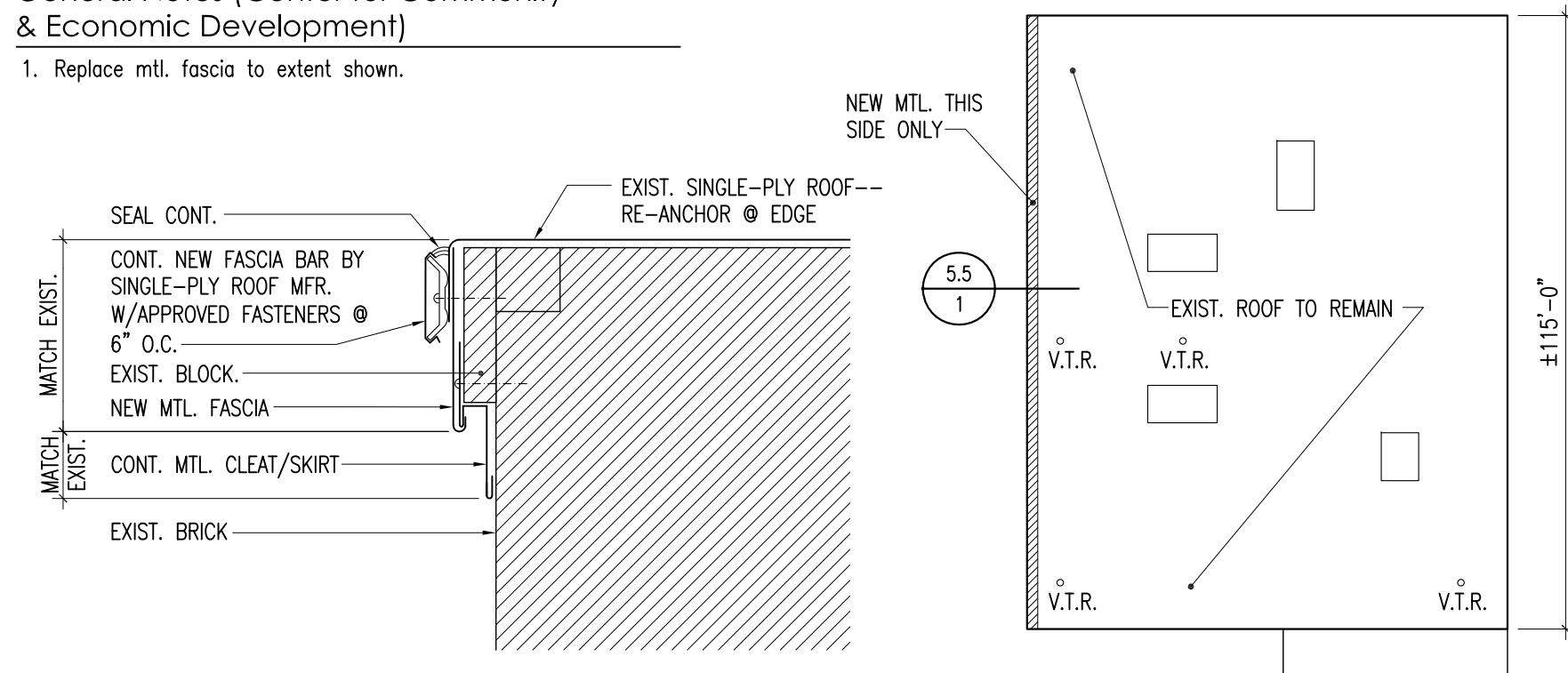
Roof Plan (Blansett Residence Hall)

NORTH

4 1/32"

General Notes (Center for Community & Economic Development)

- Replace mtl. fascia to extent shown.



Fascia Detail 5.5 1 1/2"

Roof Plan (Center for Community & Economic Development)

NORTH

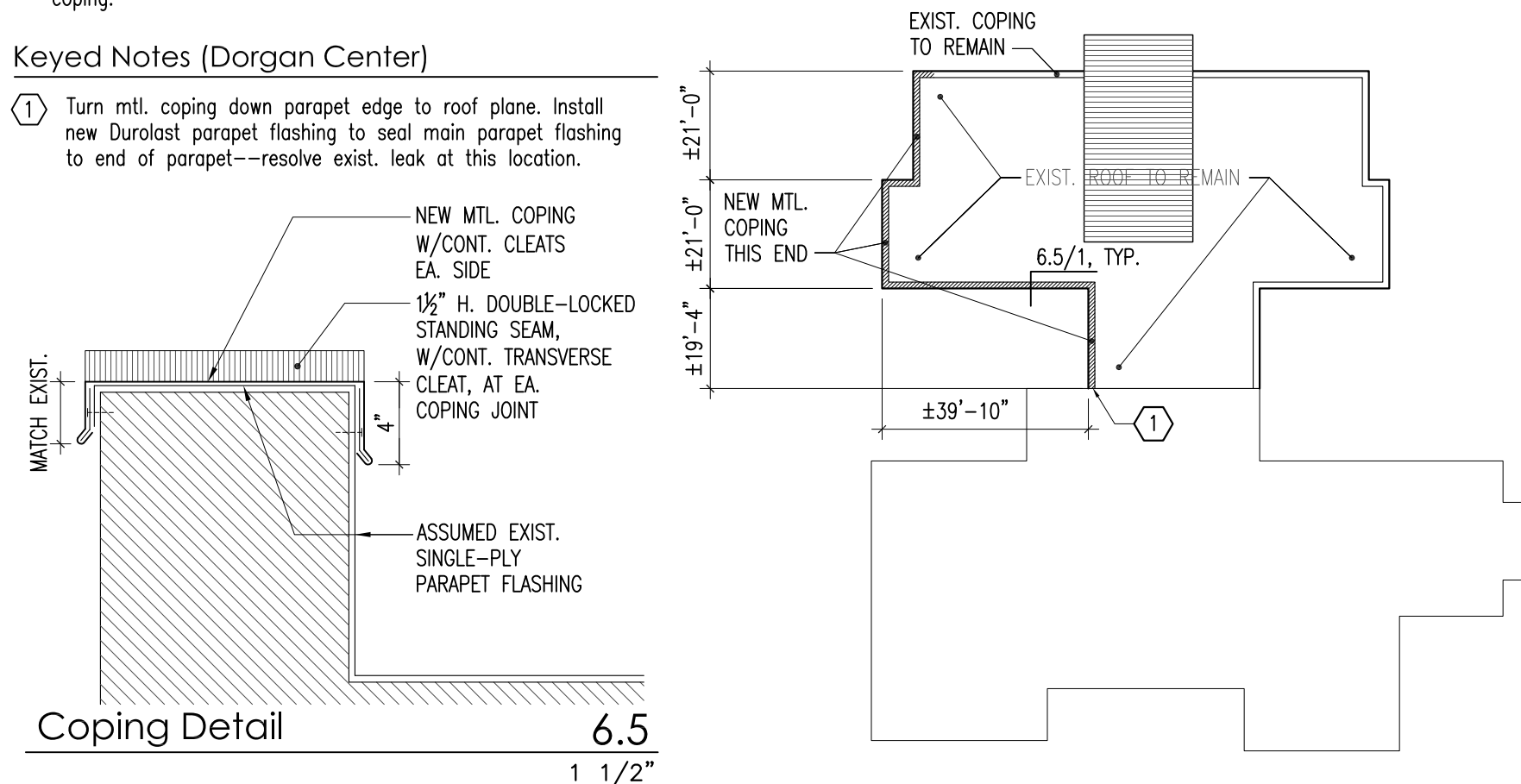
5 1/32"

General Notes (Dorgan Center)

- Replace exist. mtl. coping to extent shown. Match exist. size and shape. Provide cont. cleats, front and back, and standing seams @ all transverse joints. Do not install exposed fasteners in new coping.

Keyed Notes (Dorgan Center)

- Turn mtl. coping down parapet edge to roof plane. Install new Durolast parapet flashing to seal main parapet flashing to end of parapet--resolve exist. leak at this location.



Coping Detail 6.5 1 1/2"

Roof Plan (Dorgan Center)

NORTH

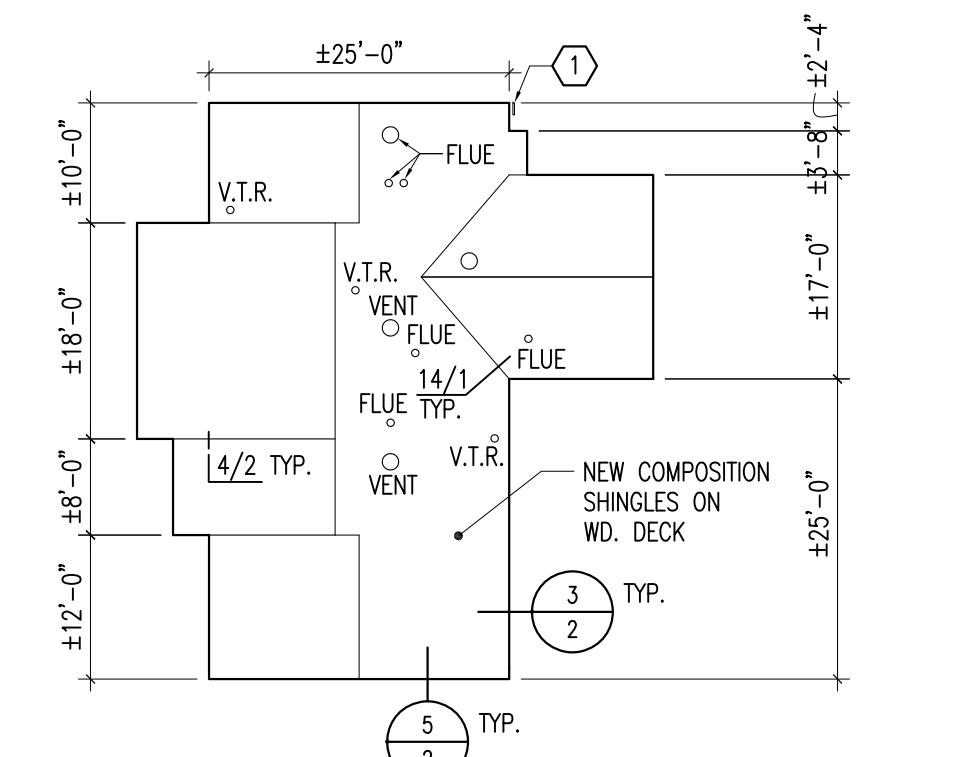
6 1/32"

General Notes (Shumate House 316)

- Re-roof w/composition shingles and new underlayments. Color: Match exist.
- All exist. VTR's, flues, attic vents, etc. to remain this roof--re-flash. Verify all exist. penetrations prior to Bid.
- Include in Bid 75 linear feet of fascia/rake trim repair. AWI "Custom" grade Spanish Cedar, S4S, primed all (6) sides, and painted. Match exist. sizes/shapes.

Keyed Notes (Shumate House 316)

- Remove/reinstall exist. satellite dish as req'd for roofing.



Roof Plan (Shumate House 316)

NORTH

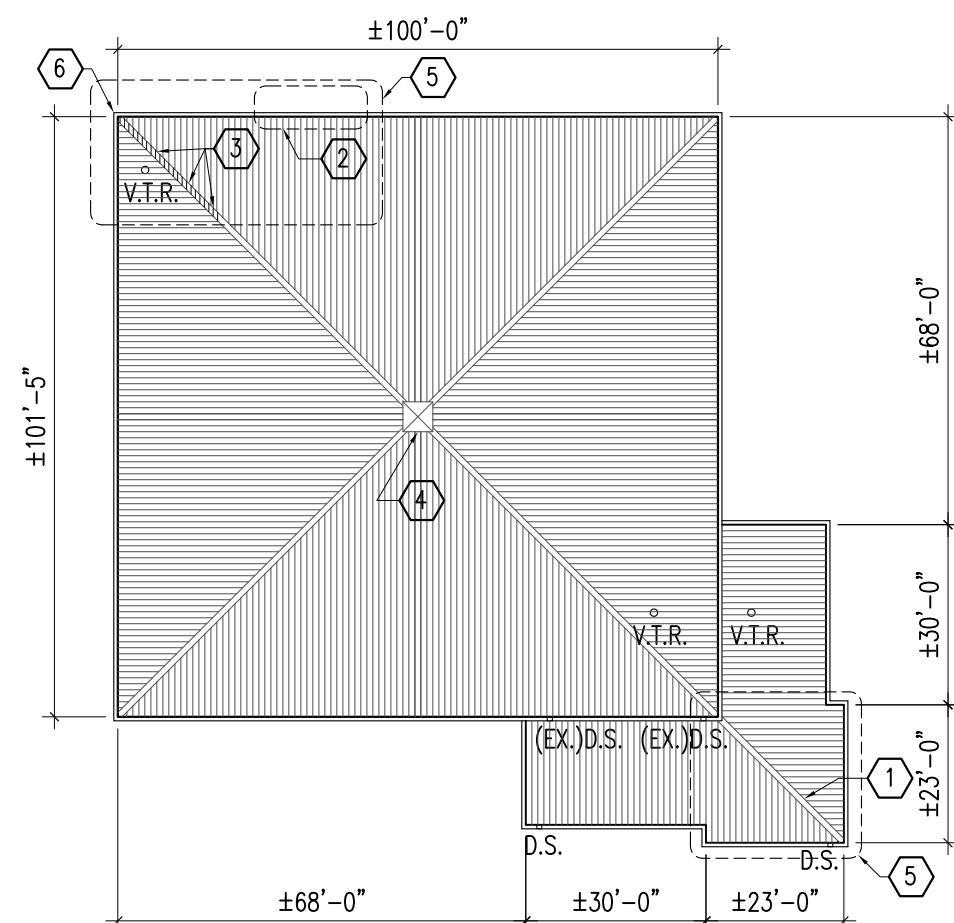
7 1/16"

General Notes (Griffis Practice Center)

- At locations of leak investigations shown, remove or loosen cap flashings, eave trim, etc. as required to re-seal such flashings watertight.

Keyed Notes (Griffis Practice Center)

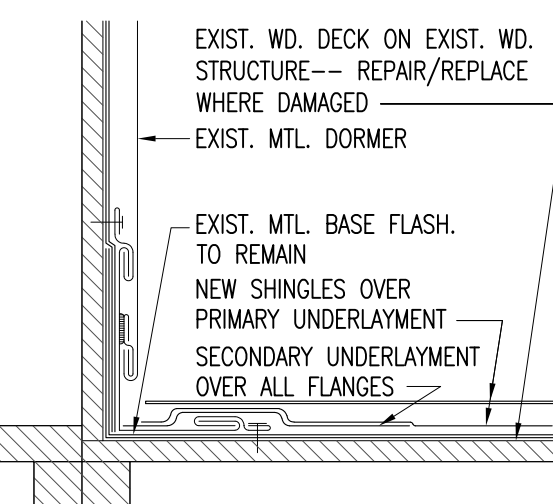
- Seal exist. ridge cap.
- Replace missing gutter staves; re-secure exist. gutter staves.
- Remove/reseal/reinstall exist. ridge cap.
- Re-seal exist. mtl. cap.
- Determine location of existing leak this area and re-seal all related flashings.
- Repair/replace storm-damaged corner mtl.



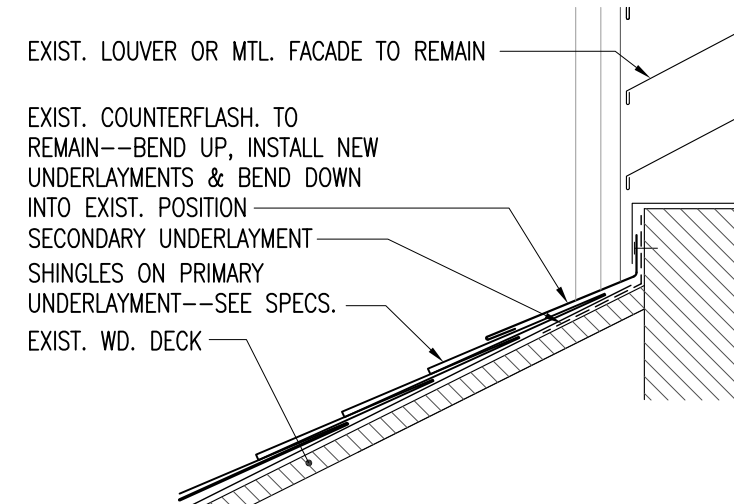
Roof Plan (Griffis Practice Center)

NORTH

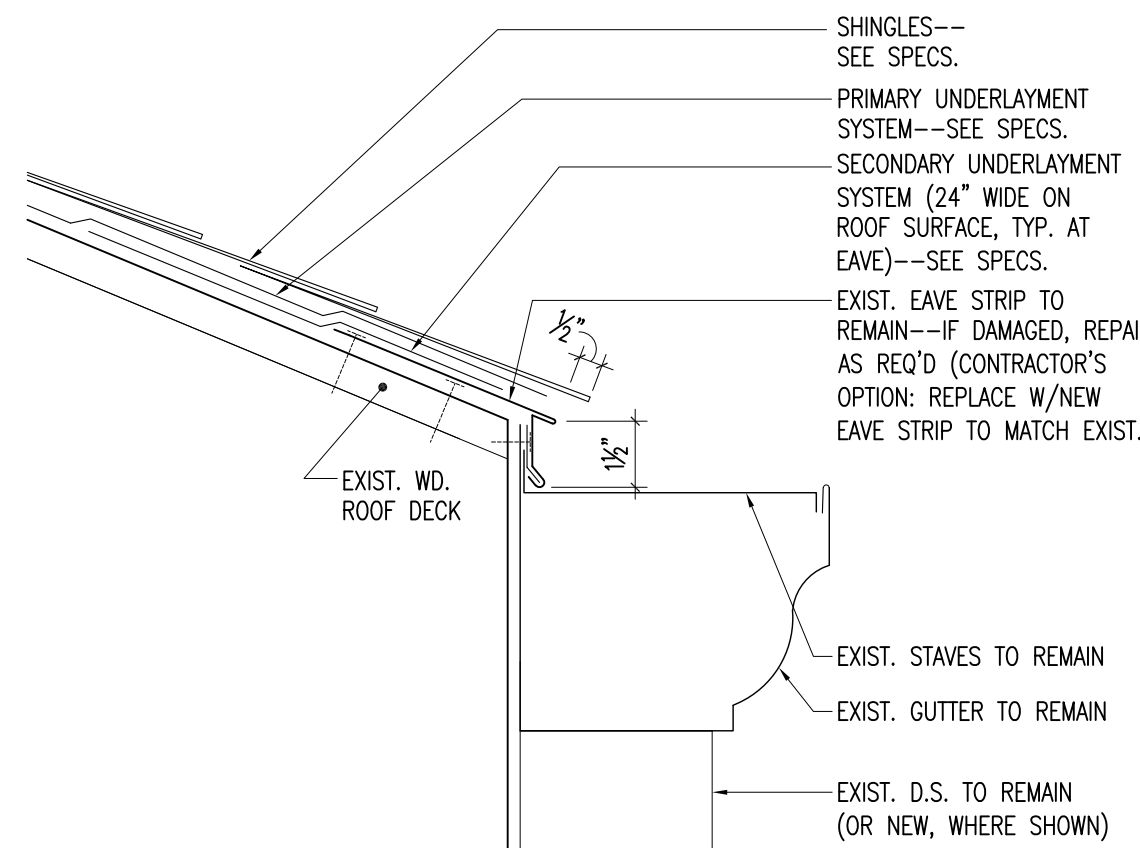
8 1/32"



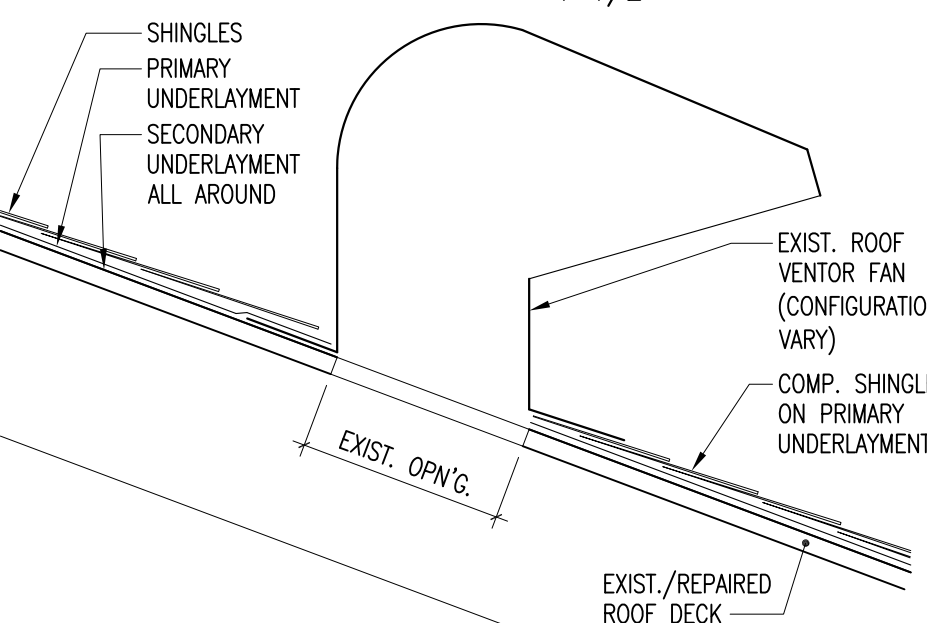
Flash Detail @ Exist. Dormer Base 9 1 1/2"



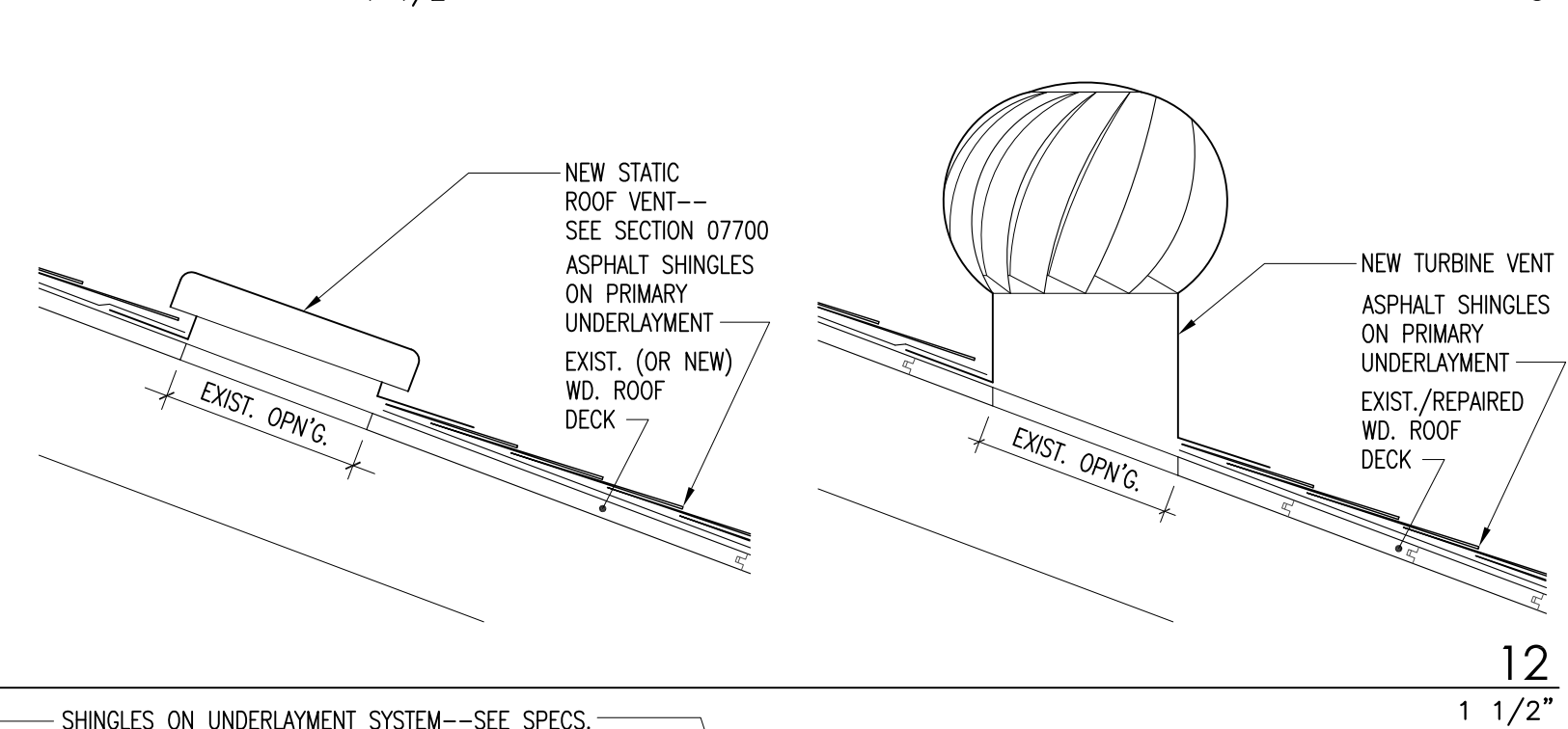
Flash Detail @ Exist. Dormer 10 1 1/2"



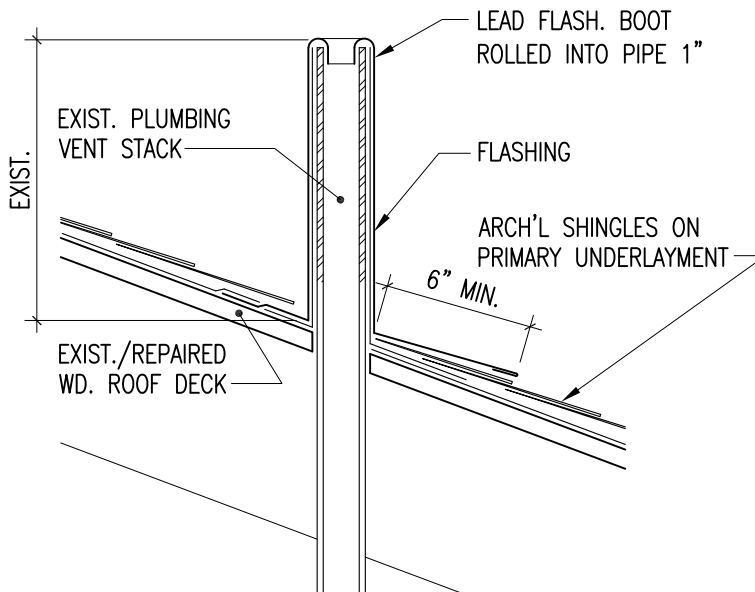
Flash Detail @ Exist. Dormer 11 3"



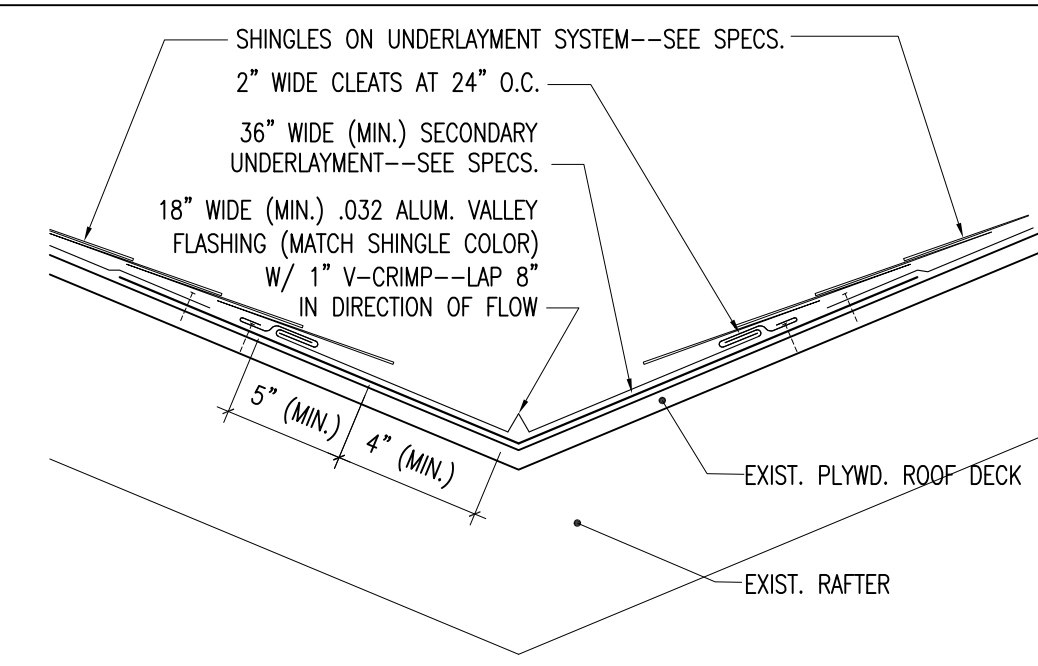
Typ. Fan/Vent Flash. Details 1 1/2"



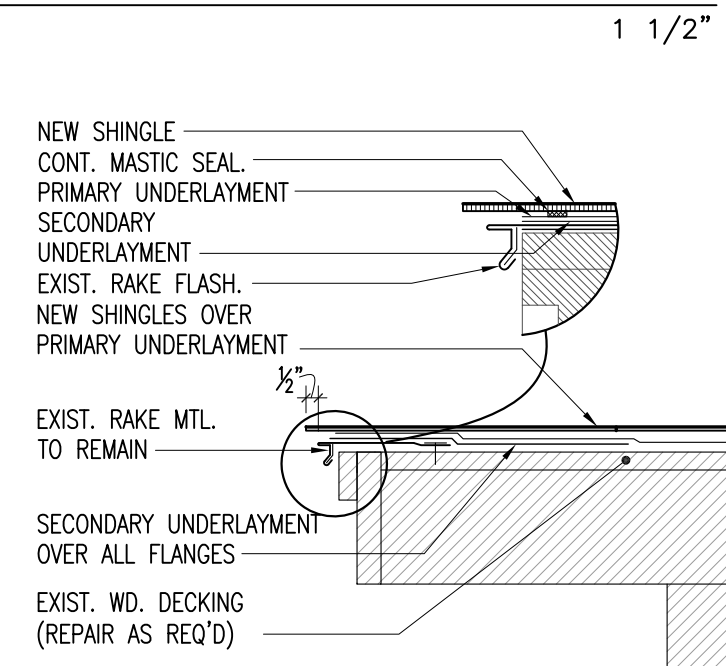
12 1 1/2"



Typ. V.T.R. Shingle Flash Detail 13 1 1/2"



Typical Valley Flash. 14 1 1/2"



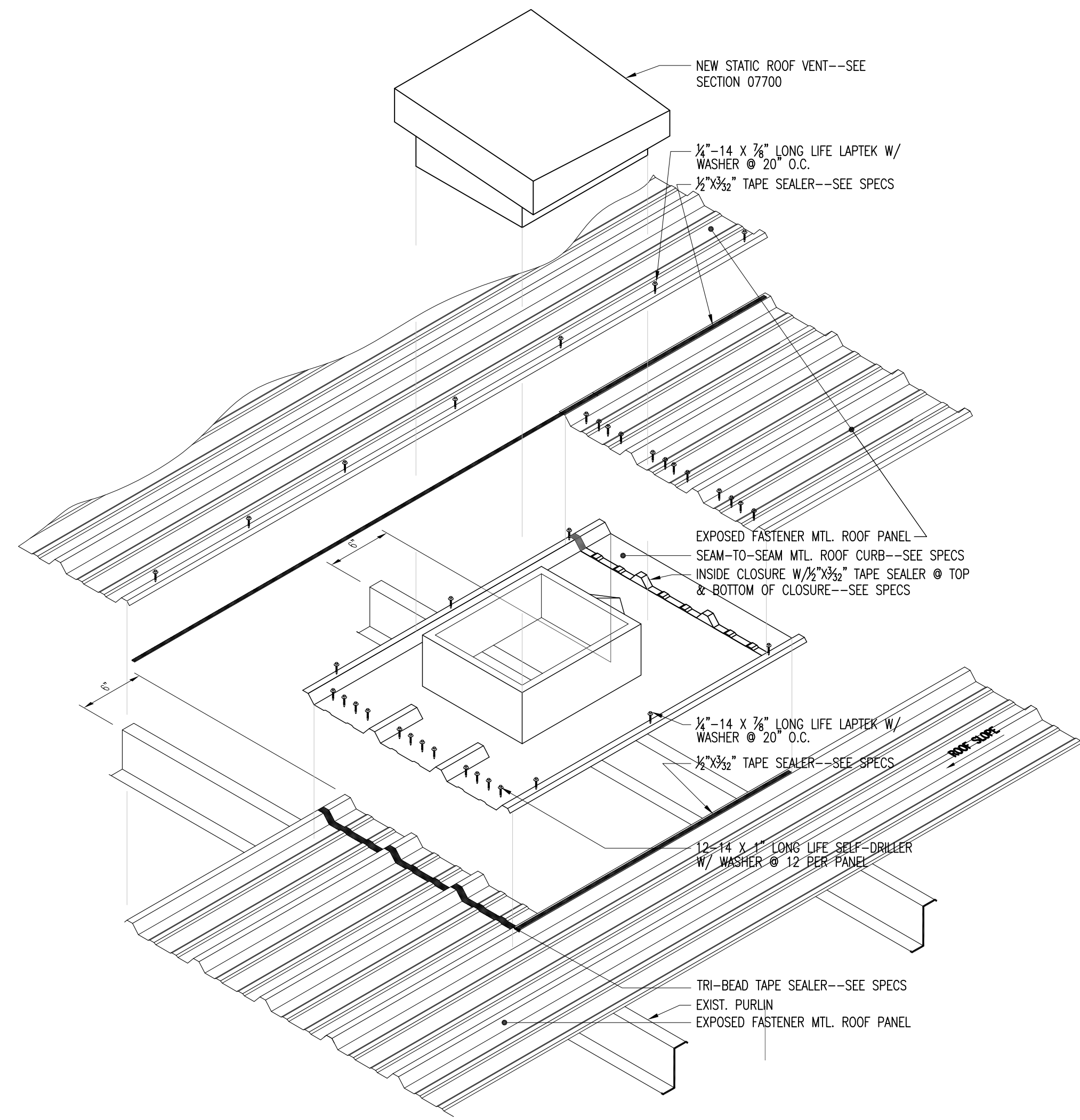
Rake Detail @ Shingle Roofs 15 1 1/2"

12 March 2020

Storm Damage Repairs (EMER)
Delta State University
(Cleveland, Mississippi)

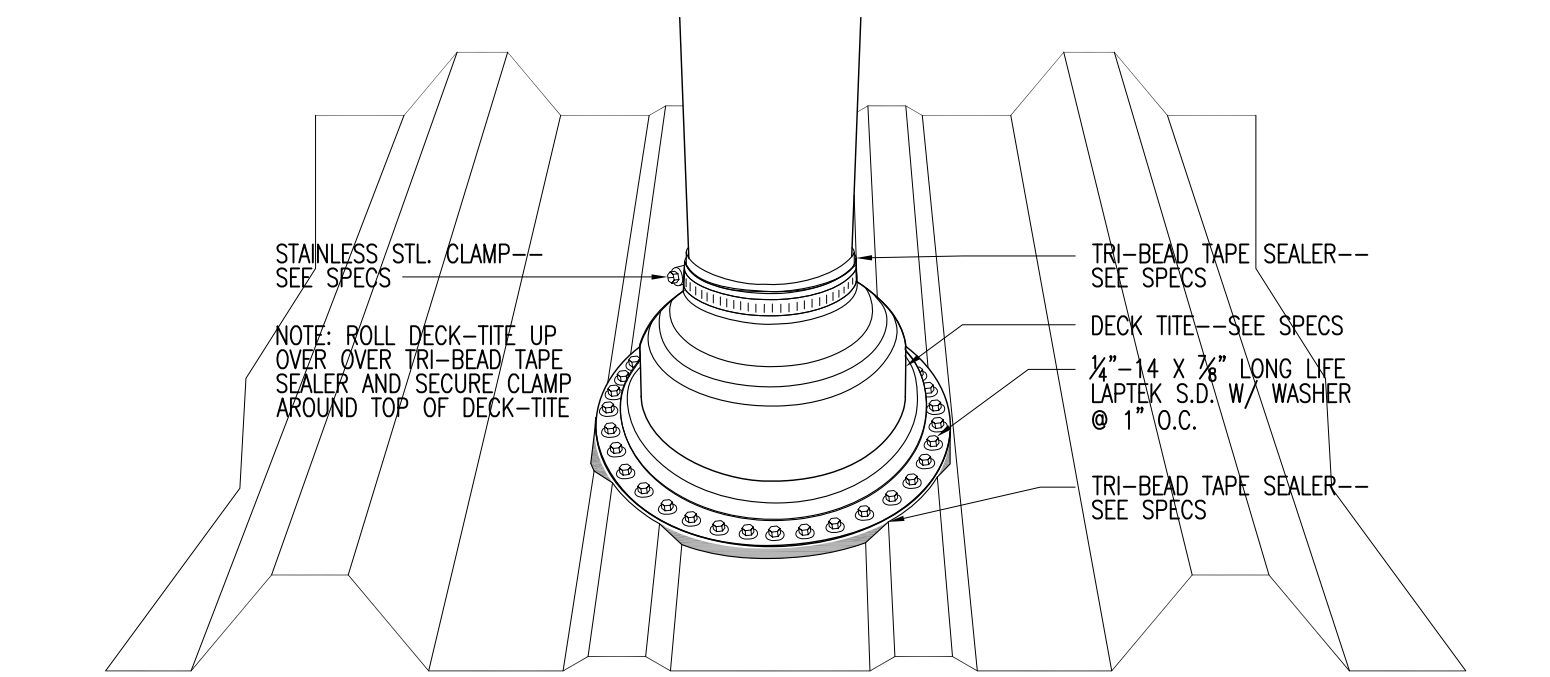
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BURRIS/WAGNON ARCHITECTS, P.A.
500 EAST WOODROW WILSON AVENUE JACKSON MS 39216 PH 6019697543 FAX 6019699374



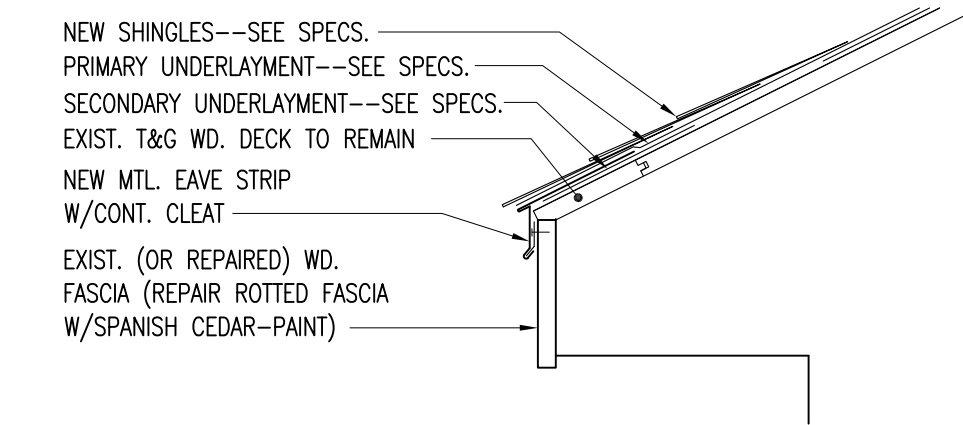
Typ. New Curb Detail @ Flight Instruction (South) Hanger

1
3/4"



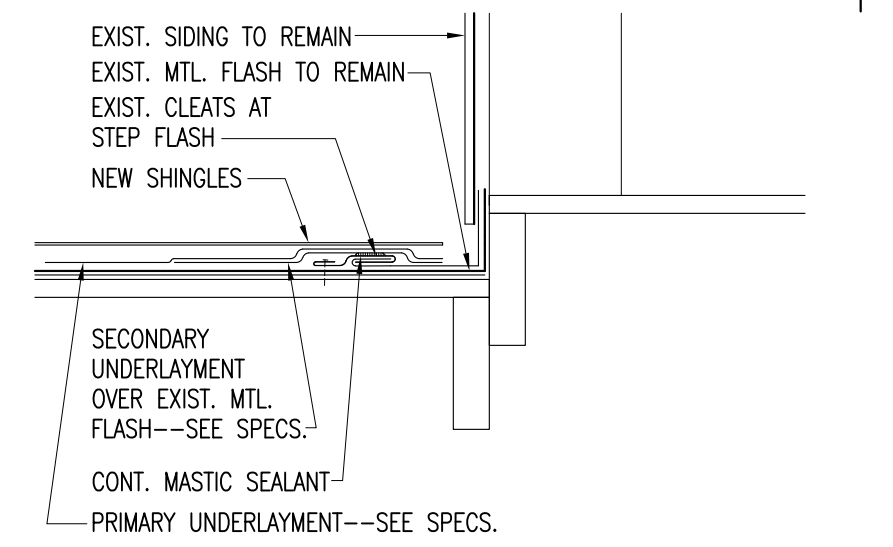
Metal Roof VTR Flash Detail

2
NTS



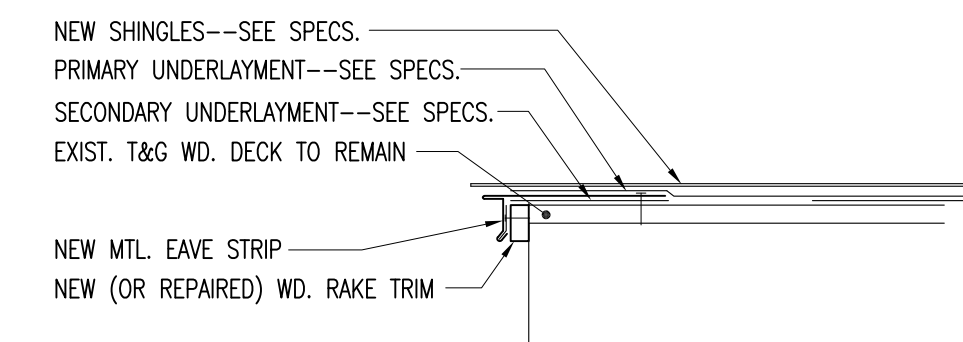
Eave Detail

3
1 1/2"



Step Flashing Detail

4
1 1/2"



Rake Detail

5
1 1/2"